

# The Homeowner's Building Application Checklist for Constructing a Residential Addition

---



This checklist provides **homeowners** a summary of the Building Permit submission requirements for constructing a residential addition. A building permit is required to build an addition to a residential home.

For additional details on the Submission Process, Application Forms, Fees, Approvals and Inspections, please refer to the website at [ottawa.ca/buildingcode](http://ottawa.ca/buildingcode).

The Ontario Building Code outlines the minimum requirements for various elements, such as framing and foundation, and can be viewed on the [Ontario Ministry of Municipal Affairs and Housing website](http://Ontario Ministry of Municipal Affairs and Housing website).

A Development Information Officer (DIO) can advise on zoning regulations impacting your addition design; such as setbacks to lot lines, lot coverage, and building height. Please call 3-1-1 for assistance.

## **Required Drawings**

Two complete sets of plans that are legible and drawn to conventional scale are required to be submitted with the Building Permit Application Form.

### **Site Plan**

Drawing to include

- Lot lines including dimensions.
- Location of proposed addition dimensioned to other buildings and lot lines.
- Lot area, main building area, accessory building area and addition area.
- Indicate any changes to grading (grading approval may be required).
- Municipal address.

# The Homeowner's Building Application Checklist for Constructing a Residential Addition



---

## **Foundation Plan**

Drawing to include

- Footings and foundation walls.
- Floor construction.
- Weeping tile.

## **Floor Plan**

Drawing to include

- Wall location and thickness.
- Specify room adjacent to addition.
- Window and door locations including sizes and lintels.
- Specify opening between house and proposed addition including lintel.
- Roof construction including beams, rafters, joists or trusses, sizes and direction.
- Provide existing building information which may affect the processing of the application.

## **Elevations**

Drawing to include

- The general appearance of the addition from three sides.
- Windows and doors sizes.
- Exterior wall finish (e.g. siding).

## **Cross Section**

Drawing to include

- Foundation construction and depth.
- Floor construction.
- Wall construction including stud height.
- Roof construction including roof pitch.
- Height from grade to roof peak.
- Connection to main building.

# The Homeowner's Building Application Checklist for Constructing a Residential Addition

---



## **Additional Information**

A truss layout as supplied from the manufacturer may be required, depending on the complexity of pre-engineered roof trusses.

The joist layout as supplied from the manufacturer is required when pre-engineered joists are used.

## **Building Permit Application**

Submit a Building Permit Application to any of our convenient Client Service Centres. To expedite the Building Permit, ensure all applicable information is submitted with the required building permit fee.

## **Required Inspections**

For a Residential Addition to:  
Single, Semi-Detached, Rowhouse and Townhome Dwelling Units

At key stages of building construction, your work must be inspected to ensure that the applicable stage of construction complies with the Ontario Building Code. The permit plans and specifications must be on site and made available to the Building Official at the time of inspection. To ensure the availability of a Building Official, you should book inspections 48 hours in advance. Failure to have the appropriate inspection performed may result in your having to uncover and expose the work for inspection, or other Orders issued, etc.

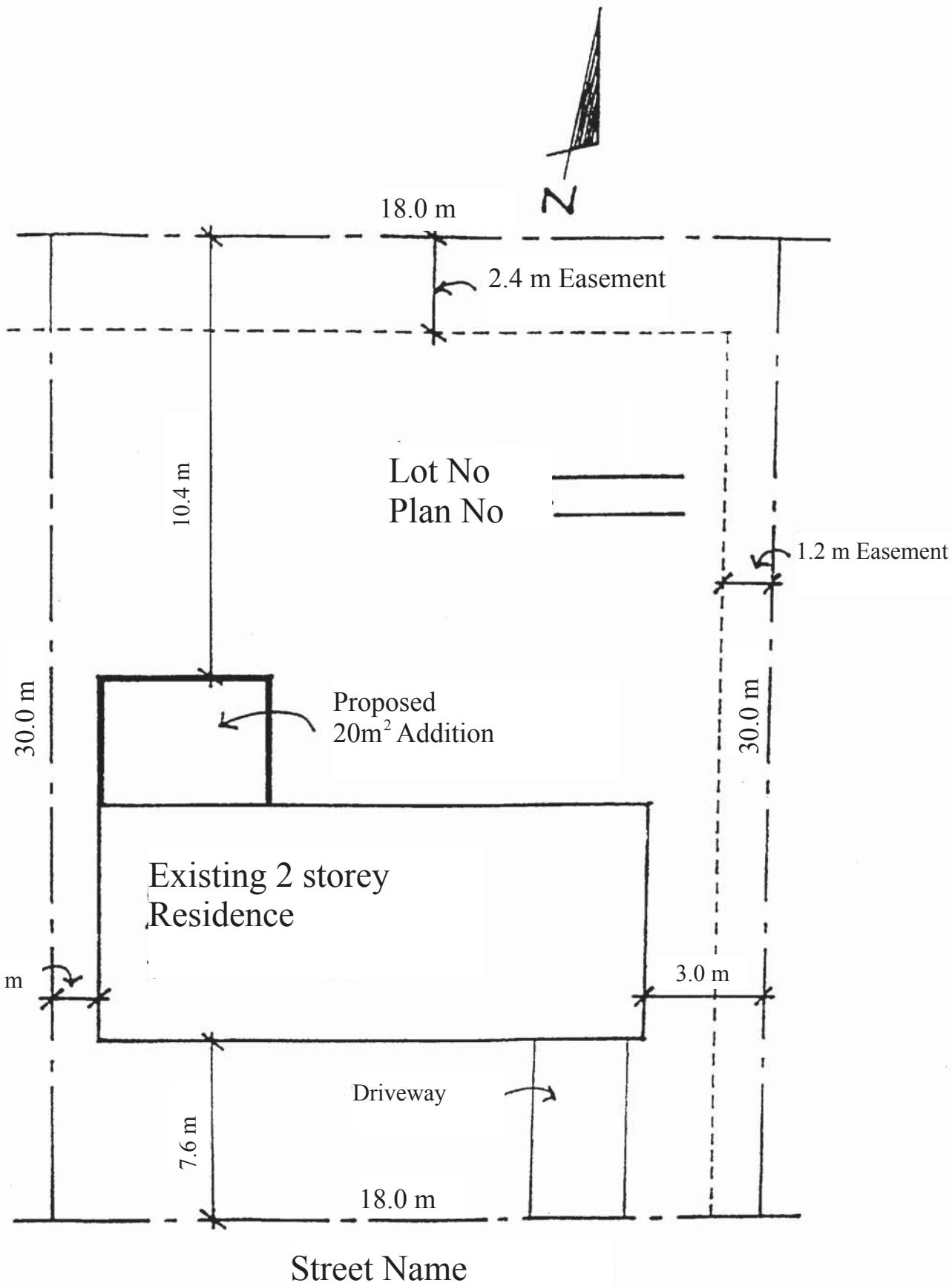
**The Building Official(s) name and phone number are identified on the building permit. It is your responsibility to call for inspections. For a list of required inspections that may apply based on the proposed accessory building, please refer to the table on the next page.**

# The Homeowner's Building Application Checklist for Constructing a Residential Addition

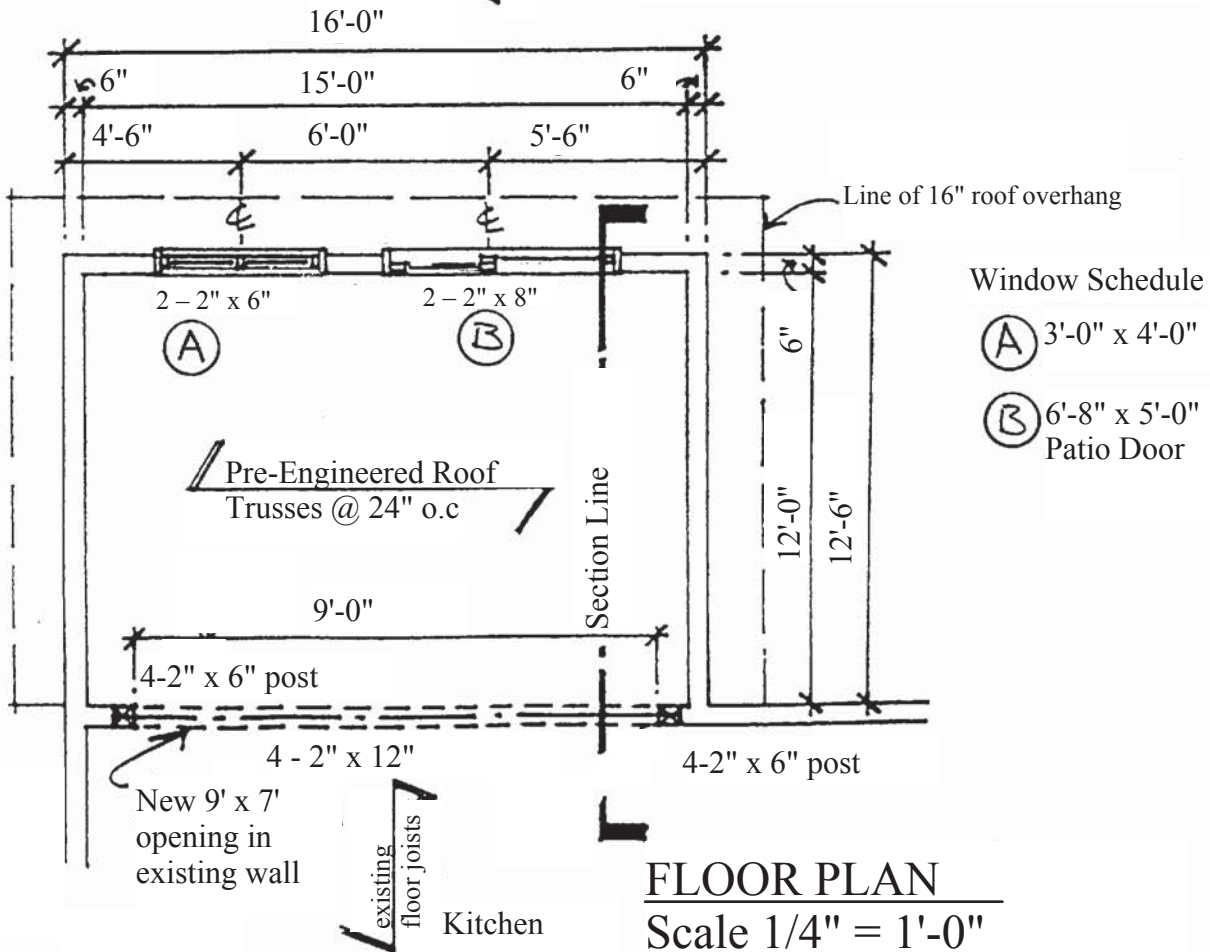
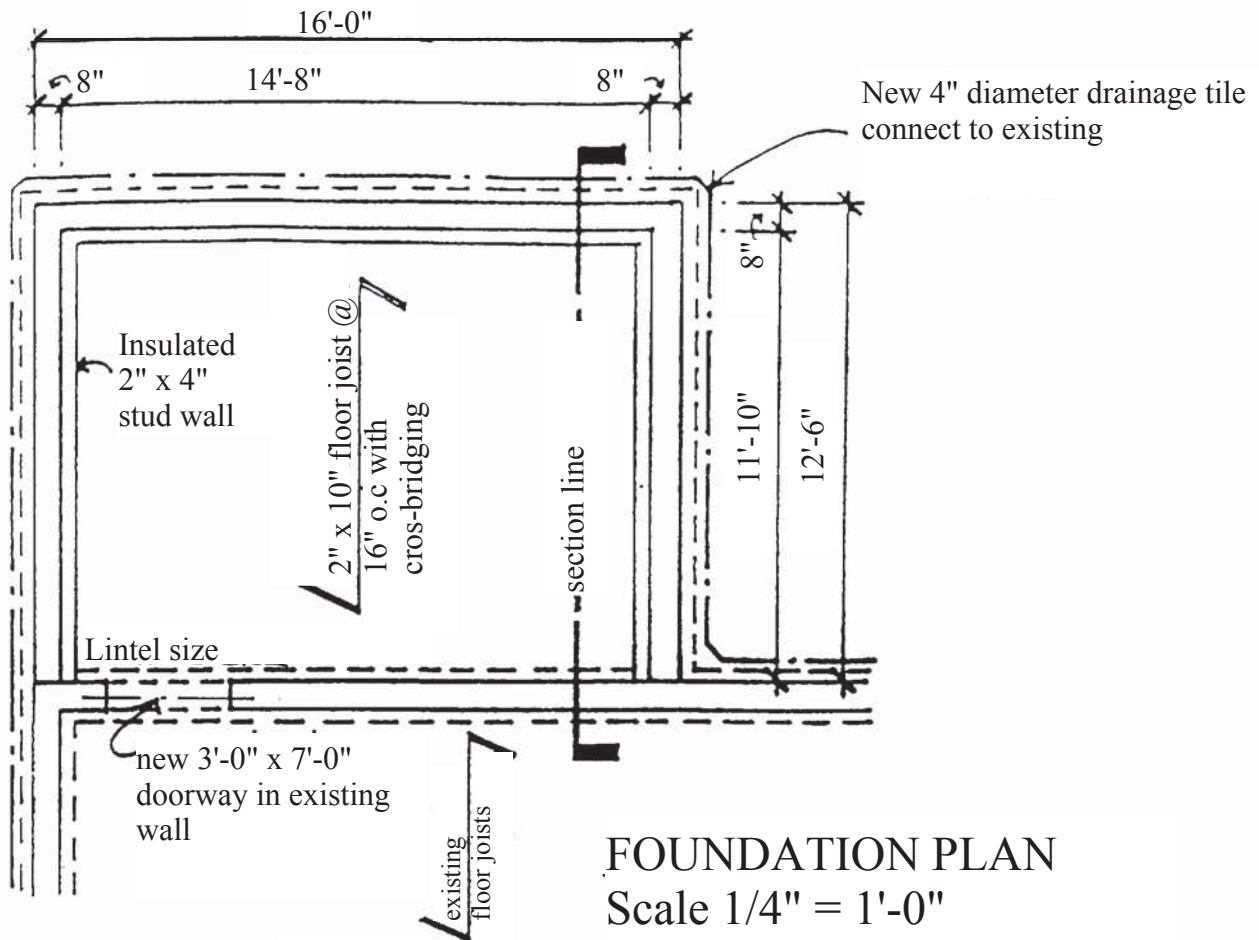


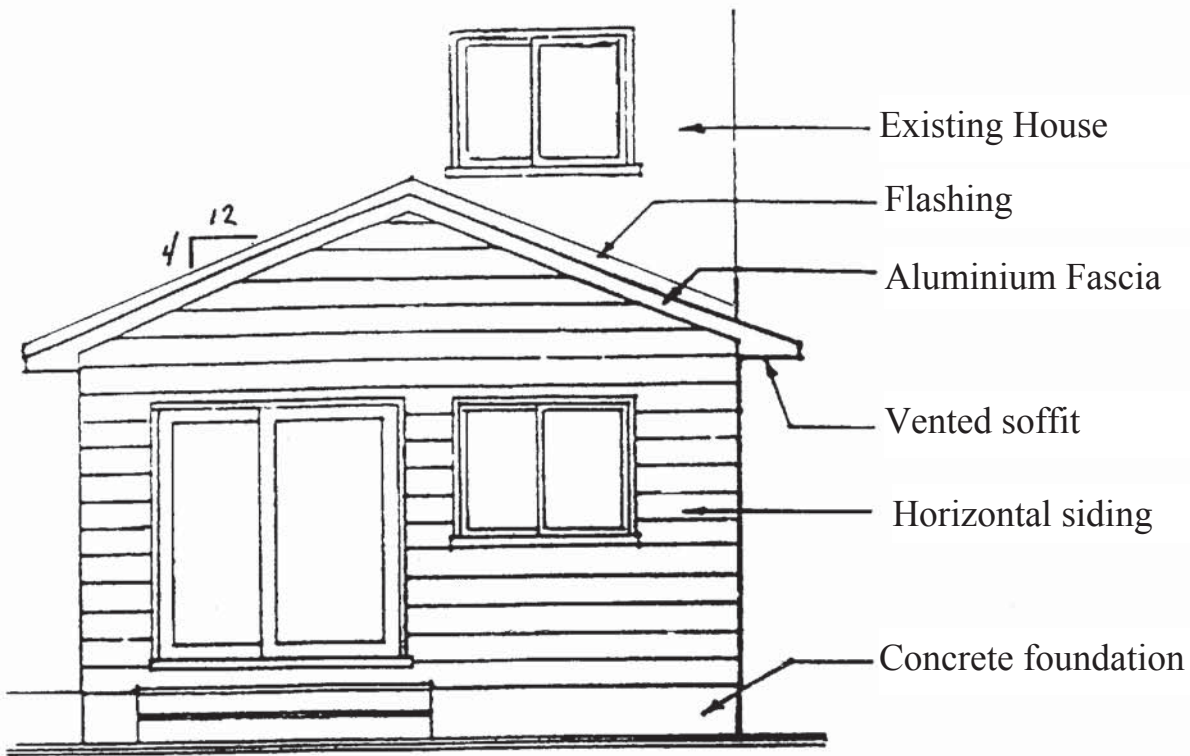
## Required Inspections continued

Inspection	Description
<b>Lateral</b>	<p>Prior to backfill of sanitary and storm sewers and water service.</p> <p>Your Building Official does not perform the lateral sewers and water service inspections. These inspections may be arranged by contacting the following:</p> <p>developmentinspections@ottawa.ca Tel: 613-580-2424 ext. 33246 Fax: 613-580-2627</p>
<b>Excavation</b>	Required prior to placement of concrete footings. The geotechnical soils report confirming soil-bearing capacity may be requested by the Building Official, if warranted by on-site soil conditions.
<b>Plumbing - Underground</b>	Required prior to covering underground plumbing. (Test required)
<b>Foundation</b>	Required prior to backfill of foundation.
<b>Plumbing – Rough-In</b>	Required at completion of plumbing rough-in, which includes drains, waste, vent and water piping system. (Test Required)
<b>Framing and Mechanical Rough-In</b>	<u>Required at completion of structural framing, stairs, including</u> components of fire separation and fire stopping. Completion of rough-in for electrical system, fireplace, ductwork for heating, ventilation and air conditioning. Exterior of building must be weather proofed.
<b>Insulation/Vapour Barrier</b>	Required at completion of insulation, air barrier and vapour barrier installation.
<b>Plumbing – Final</b>	Required at completion of plumbing system, fixtures and appliances. (Test required)
<b>Occupancy</b>	A person may occupy a dwelling that has not been fully completed provided an Occupancy Permit has been issued by the Building Official. To be eligible there must be no outstanding Building Code Orders and certain building components and systems must be complete and inspected under Articles 1.3.3.1 and 1.3.3.2.
<b>Final Inspection</b>	Required at completion of the construction.



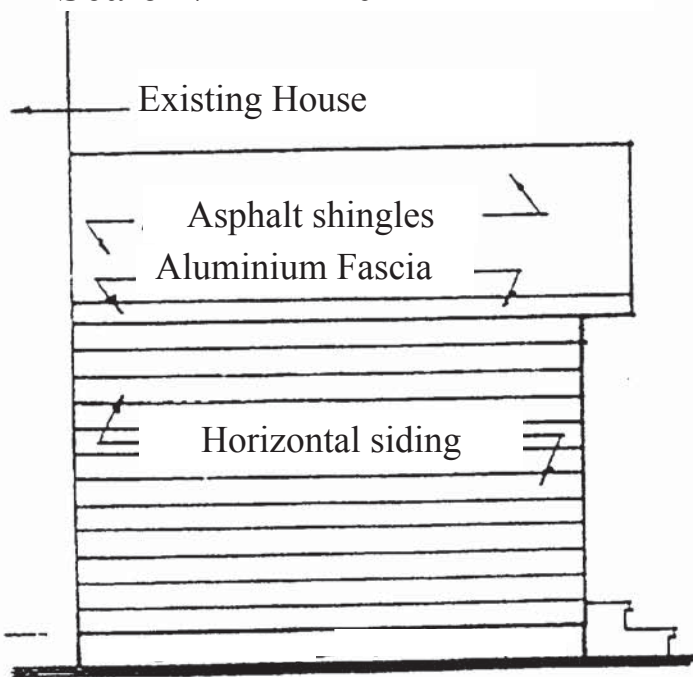
**SITE PLAN**  
 Scale 1:250





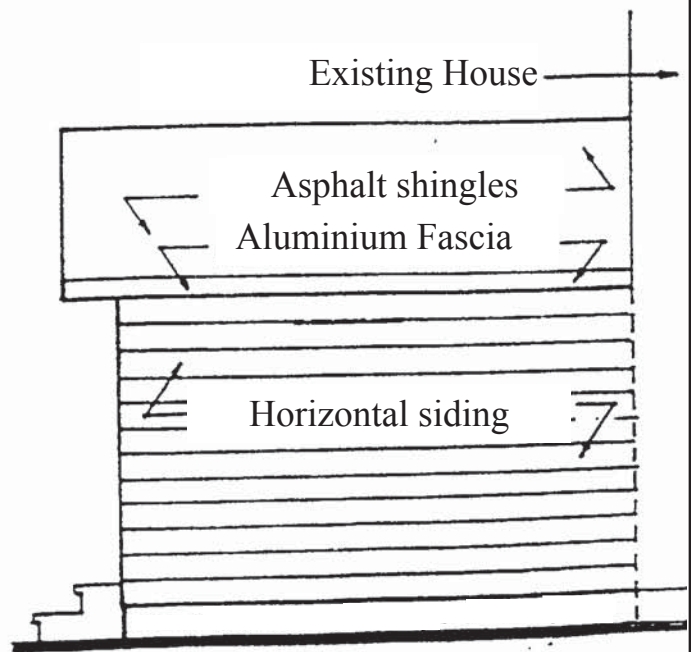
REAR ELEVATION

Scale 1/4" = 1'-0"



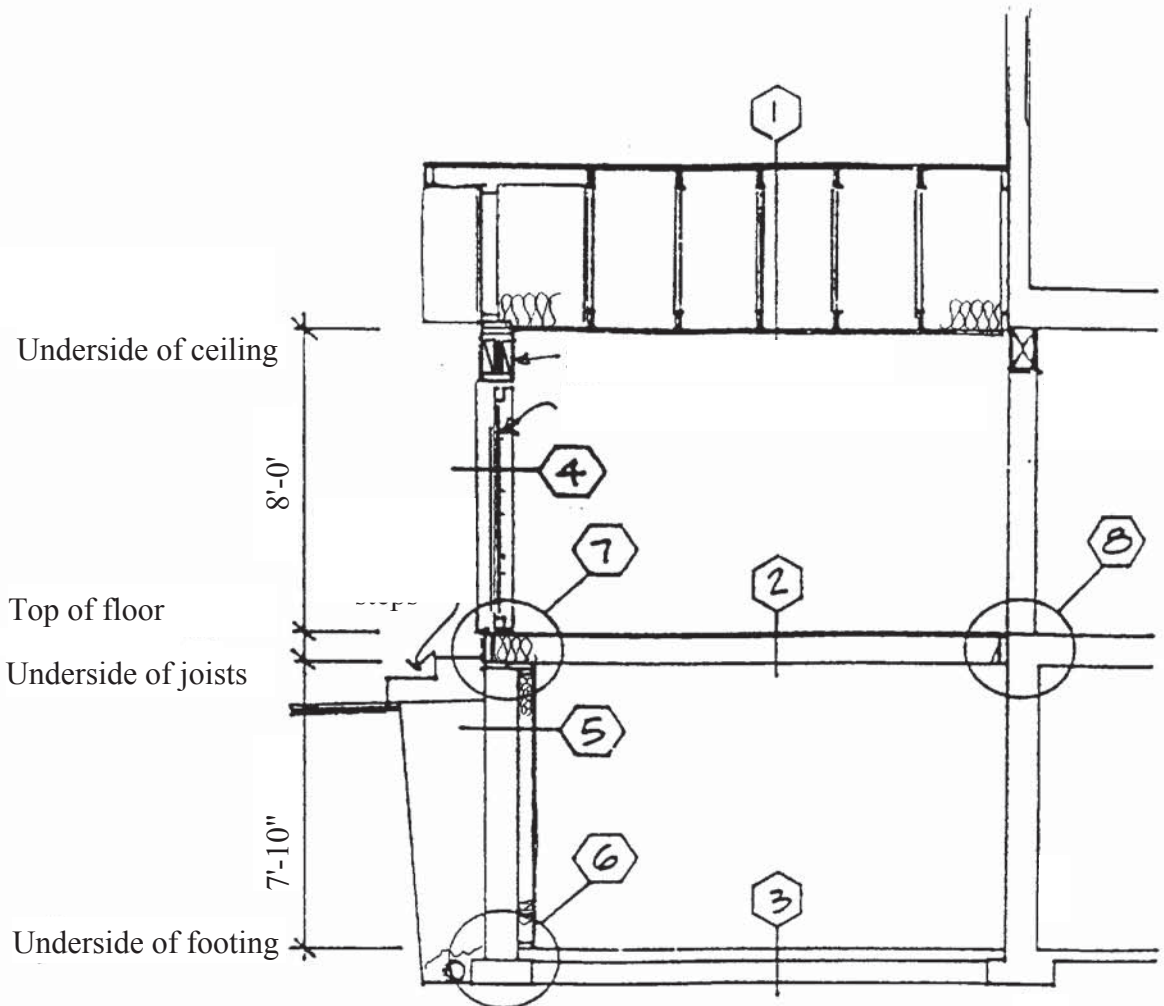
SIDE ELEVATION

Scale 1/4" = 1'-0"



SIDE ELEVATION

Scale 1/4" = 1'-0"



**CROSS SECTION**  
 Scale 1/4" = 1'-0"

**CONSTRUCTION NOTES**

- 1 ROOF**
- Asphalt shingles
  - Eave protection, 36" up roof slope
  - 3/8" OSB sheathing with H-clips
  - Pre-Engineered roof trusses @24" o.c
  - R31 insulation
  - 6 mil polyethylene vapour barrier
  - 1" x 3" strapping @ 16" o.c
  - 1/2" Drywall

- 2 FLOOR**
- 5/8" OSB subfloor
  - 2" x 10" floor joists @ 16" o.c
  - 1" x 3" strapping @ 16" o.c

- 3 BASEMENT FLOOR**
- 3" concrete slab, 20 MPa
  - 6" granular material

- 4 EXTERIOR WALL**
- Vinyl siding
  - Air barrier
  - 1/4" OSB sheathing
  - 2" x 6" studs @ 24" o.c
  - R17 insulation
  - 6 mil polyethylene vapour barrier
  - 1/2" drywall

- 5 FOUNDATION WALL**
- 4" drainage layer
  - Dampproofing
  - 8" poured concrete wall
  - Moisture barrier
  - 2" x 4" studs @ 24" o.c
  - R8 insulation
  - 6 mil polyethylene vapour barrier

- 6 FOOTING**
- 8" x 16" continuous poured concrete strip footing
  - 4" diameter drainage tile with 6" stone cover

- 7 ANCHORAGE**
- 2" x 6" sill plate
  - 1/2" diameter anchor bolts @ 7'-10" o.c, 4" minimum into structure

- 8 CONNECTION**
- 2" x 10" ledger board with 1/2" diameter bolts @ 24" embedded 4" into structure
  - Galvanized joist hangers