

TM – Traditional Mainstreet Zone (Sections 197-198)

Purpose of the Zone

The purpose of the TM – Traditional Mainstreet Zone is to:

- (1) *accommodate a broad range of uses including retail, service commercial, office, residential and institutional uses, including mixed-use buildings but excluding auto-related uses, in areas designated **Traditional Mainstreet** in the Official Plan;*
- (2) *foster and promote compact, mixed-use, pedestrian-oriented development that provide for access by foot, cycle, transit and automobile;*
- (3) *recognize the function of Business Improvement Areas as primary business or shopping areas; and*
- (4) *impose development standards that will ensure that street continuity, scale and character is maintained, and that the uses are compatible and complement surrounding land uses.*

197. In the TM Zone:

Permitted Non-Residential Uses

- (1) The following non-residential uses are permitted subject to:
 - (a) the provisions of subsections 197(3) to (14); (By-law 2019-410)
 - (b) where in a commercial or mixed use building and located on the ground floor abutting a street having direct pedestrian access to that street, residential, **office** and **research and development centre** uses must not be located within a depth of six metres of the front wall of the main building abutting the street ;
 - (c) a minimum of 50% of the ground floor façade facing the main street, measured from the average grade to a height of 4.5 metres, must comprise transparent windows and active entrances; and where an active entrance is angled on the corner of the building, such that it faces the intersection of the main street and an intersecting side street, it is deemed to face the main street;(By-law 2015-190)
 - (d) parking garage, provided that 100% of the ground floor fronting on the street excluding any related mechanical room or pedestrian or vehicular access, is occupied for a depth of three metres by other uses permitted to be located on the ground floor; and
 - (e) provision 197(1)(c) does not apply to places of worship.

amusement centre (By-law 2017-302)
animal care establishment
animal hospital
artist studio
bank
bank machine
catering establishment
cinema
click and collect facility (By-law 2016-289)
community centre
community health and resource centre
convenience store
day care
diplomatic mission, see Part 3, Section 88
emergency service
hotel
instructional facility
library
medical facility
municipal service centre
museum
office
park
parking garage
payday loan establishment (By-law 2017-302)
personal brewing facility (By-law 2019-41)
personal service business
place of assembly
place of worship
post office
recreational and athletic facility
research and development centre
residential care facility (By-law 2011-273)
restaurant
retail food store
retail store
school
service and repair shop
storefront industry, see Part 3, Section 99 (By-law 2018-171)
theatre
training centre
urban agriculture, see Part 3, Section 82 (By-law 2017-148) (By-law 2019-410)

Permitted Residential Uses

- (2) The following residential uses are permitted subject to:
 - (a) the provisions of subsections 197(3) to (8) and (14); (By-law 2019-410)

apartment **dwelling**, low rise
apartment **dwelling**, mid rise (By-law 2014-292)
bed and breakfast, see *Part 5, Section 121*
dwelling units
group home, see *Part 5, Section 125*
home-based business, see *Part 5, Section 127* (By-law 2019-410)
home-based day care, see *Part 5, Section 129* (By-law 2019-410)
retirement home
retirement home, converted, see *Part 5, Section 122*
rooming house (By-law 2018-206)

Zone Provisions

(3) The zone provisions are set out in Table 197 below.

TABLE 197 – TM ZONE PROVISIONS

I ZONING MECHANISMS		II PROVISIONS
(a) Minimum lot area		No minimum
(b) Minimum lot width		No minimum
(c) Maximum front yard setback		2 m, subject to the provisions of subsection 197(4) below.
(d) Interior side yard setbacks	(i) Maximum	3 metres between a non-residential use building or a mixed-use building and another non-residential use building or mixed-use building, except where a driveway is provided, in which case the setback must be a maximum of 6 metres where the driveway leads to a parking area of 20 or more spaces
	(ii) Minimum	The maximum setback provisions of row (d)(i) above do not apply to the following cases and the following minimum setbacks apply: (1) 3 metres for a non-residential use building or a mixed-use building abutting a residential zone, and (2) 1.2 metres for a residential use building All other cases - no minimum (maximum setback provisions of row (d)(i) apply in these cases)

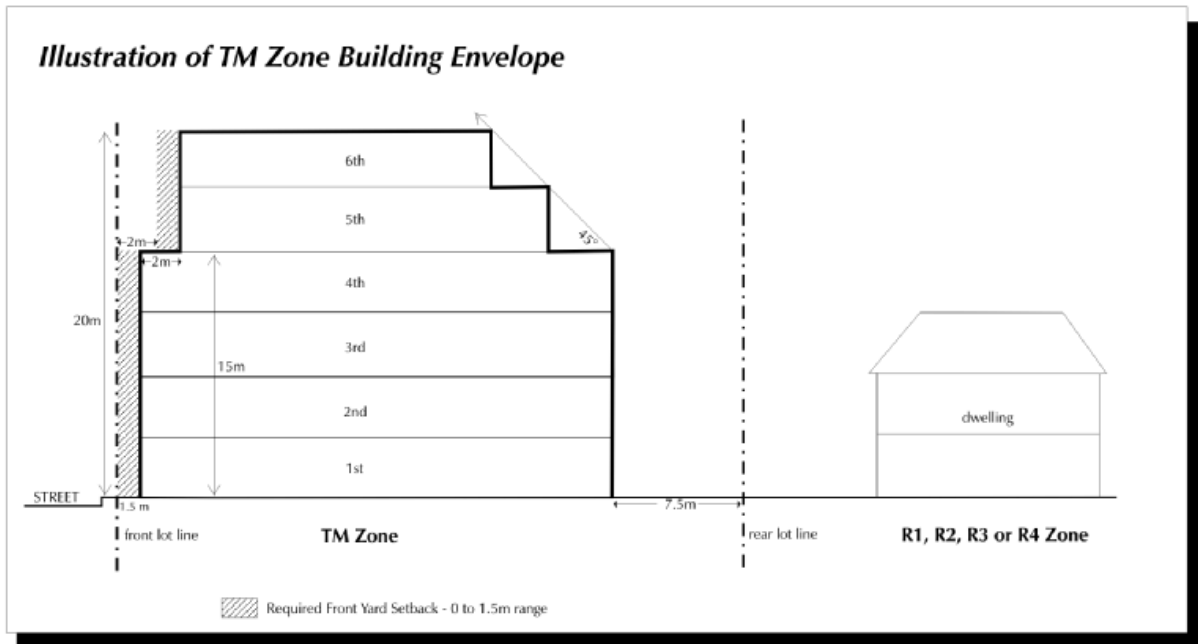
I ZONING MECHANISMS		II PROVISIONS
(e) Minimum corner side yard setback		3 m, except for any part of a building above 15 metres for which an additional 2 metre setback must be provided
(f) Minimum rear yard setback	(i) rear lot line abutting a residential zone	7.5 m
	(ii) rear lot line abutting a public laneway	4.5 m
	(iii) for residential use building	7.5 m
	(iv) other cases	No minimum
(g) Building height	(i) minimum	6.7 metres for a distance of 20 metres from the front lot line as set out under subsection 197(5) below
	(ii) maximum	<p>(1) 20 metres but not more than 6 storeys, except where otherwise shown on the zoning maps</p> <p>(2) for a building that exceeds four- storeys or 15 metres in height, for all storeys above the fourth storey, or 15 metres in height, whichever is the lesser, the building must be setback a minimum of 2 metres more than the provided setback from the front lot line as set out under Subsection 197(5) below, and from a corner lot line. (By-law 2024-89)</p> <p>(3) no part of a building on a lot with a rear lot line abutting an R1, R2, R3 or R4 Zone may project above a 45 degree angular plane measured at a height of 15 metres from a point 7.5 metres from the rear lot line, projecting upwards towards the front lot line (see illustration below). (By-law 2012-349)</p>
(h) Maximum floor space index		No maximum

I ZONING MECHANISMS		II PROVISIONS
(i) Minimum width of landscaped area	(i) abutting a residential zone	3 m; may be reduced to one metre where a minimum 1.4 metre high opaque fence is provided
	(ii) in all other cases	No minimum, except that where a yard is provided and not used for required driveways, aisles, parking or loading spaces, the whole yard must be landscaped
(j) minimum width of landscaped area around a parking lot		<i>see Section 110 – Landscaping Provisions for Parking Lots</i>

- (4) The provisions of subsection 197(3)(c) above do not apply to the following:
- (a) an area used for the balcony of a residential dwelling unit located on or above the 2nd floor;
 - (b) when a building must be located further from the lot line to provide a required corner lot triangle;
 - (c) when an outdoor commercial patio accessory to a restaurant use is located in a front yard of a corner lot, the maximum front yard setback is 3 metres;
 - (d) any part of a building above 15 metres, for which a minimum front yard setback of 2 metres must be provided; and
 - (e) in the case of a hydro pole, the setback may be 2 metres, and from a high voltage power line, the setback may be 5 metres for that portion of the building affected by the high voltage power line.
- (5) For the purpose of determining the front yard setback, a lot that abuts any of the following streets designated “Traditional Mainstreet” in the Official Plan is to be treated as though it fronts that street:
- (a) Rideau Street, from King Edward Avenue to the Rideau River
 - (b) Montreal Road, from the Rideau River to St.Laurent Boulevard
 - (c) Beechwood Avenue, from the Vanier Parkway to Corona Avenue
 - (d) McArthur Avenue, from North River Road to St. Laurent Boulevard
 - (e) Main Street, from Echo Drive to Clegg Street (By-law 2015-59)
 - (f) Elgin Street, from Lisgar Avenue to Catherine Street

- | | | |
|-----|---|--|
| (g) | Bank Street, | from Gloucester Street to the Rideau River |
| (h) | Bronson Avenue, | from Gloucester Street to Carling Avenue |
| (i) | Preston Street, | from Wellington Street to Carling Avenue |
| (j) | Gladstone Avenue, | from the CPR railway to Bank Street |
| (k) | Somerset Street, | from Wellington Street West to Elgin Street |
| (l) | Wellington Street West | from Island Park Drive to Somerset Street West |
| (m) | Richmond Road, | from Ottawa River Parkway to Island Park Drive |
| (n) | Scott Street, | from Churchill Avenue to Island Park Drive |
| (o) | Merivale Road, | from Carling Avenue to Caldwell Avenue |
| (p) | Stittsville Main Street,
(By-law 2015-264) | from Hazeldean Road to Bell Street |
| (q) | Dalhousie Street | from St.Patrick Street to Bolton Street |
| (r) | King Edward Avenue, | from Rideau Street to Bruyère Street
(By-law 2014-24) |
| (s) | Westside of Holland Avenue, | from Wellington Street West to Scott Street (By-law 2014-20) (OMB Order File #PL140303, issued March 20, 2015) (By-law 2014-64) |
| (t) | Eastside of Parkdale Avenue | from Wellington Street West to Scott Street Street (By-law 2014-24) (OMB Order File #PL140303, issued March 20, 2015) (By-law 2014-64) |
| (u) | Southside of Scott Street | from Parkdale Avenue to Merton Street Street (By-law 2014-24) (OMB Order File #PL140303, issued March 20, 2015) (By-law 2014-64) |
- (6) Storage must be completely enclosed in a building.
- (7) A maximum of one private approach may be provided for each property having a lot frontage of 45 metres or less.
- (8) Despite Section 107 – *Aisle and Driveway Provisions for Parking Lots and Parking Garages*, the minimum driveway width is :
- (a) 3 metres for parking lots with less than 20 parking spaces; and
- (b) 6 metres for parking lots with 20 or more parking spaces.
- (9) Despite Section 100(1) – *General Provisions, Parking, Queuing and Loading Provisions*, a driveway may be situated equally or in part between two abutting commercial or mixed-use lots.

- (10) Despite any requirements to the contrary, parking for a use required on one lot, may be located on another lot, but must be in the same city block, or on a lot on the opposite side of the public street on which the use requiring the parking is located. (By-law 2010-354)
- (11) For other applicable provisions, see Part 2 – General Provisions, Part 3 – Special Use provisions, and Part 4 – Parking and Loading Provisions.
- (12) (a) Despite the list of permitted residential uses, where the zoning on a lot is accompanied by a H suffix, schedule or exception that permits a height of 30m or greater on part of the lot, the use Apartment Dwelling, High Rise is a permitted use on that lot.
- (b) Despite the list of permitted residential uses, where the zoning on a lot is accompanied by an H suffix, schedule or exception that restricts building height to less than 15m or to fewer than five storeys, on the entire lot, the use Apartment Dwelling, Mid Rise is a prohibited use on that lot. (By-law 2014-292)
- (13) The façade facing the main street must include at least one active entrance serving each residential or non-residential use occupying any part of the ground floor (By-law 2015-190)
- (14) Parking exemptions in the TM zone in Areas B, C and D on Schedule 1A. (By-law 2017-148)
- (a) a restaurant use that legally existed on June 25, 2008 and located on the ground floor of a building requires no parking spaces for the first 280 square metres of gross floor area and 10 spaces per 100 square metres over 280 square metres gross floor area.
- (b) any other restaurant use located on the ground floor of a building requires no parking spaces for the first 150 square metres of gross floor area and 10 spaces per 100 square metres over 150 square metres gross floor area.
- (c) a retail use located on the ground floor of a building requires no parking spaces for the first 150 square metres of gross floor area and 2.5 per 100 square metres of gross floor area over 150 square metres.
- (d) any other use located on the ground floor of a building and that has a gross floor area of less than 150 square metres requires no parking spaces. (By-law 2016-249)



TM Subzones

198. In the TM Zone, the following subzones apply:

TM1 Subzone – Elgin Street Subzone

- (1) In the TM1 Subzone:
 - (a) the uses listed in subsection 197(2) are not permitted and only the following residential uses are permitted subject to:
 - (i) being in a building containing one or more of the permitted non-residential uses;
 - dwelling unit**
 - group home**
 - retirement home**
 - retirement home, converted**
 - rooming house**
 (OMB Order, File #PL080959 issued June 1, 2010) (By-law 2018-206)
 - (b) the following use is also permitted:
 - hotel**
 - (c) all uses located on the ground floor of a building, with the exception of a place of worship, are limited to a maximum gross floor area of 600 square metres;
 - (d) the provisions of subsection 197(3)(f) do not apply to lots having a depth of less than 20 metres and the minimum rear yard setback must be at least 3 metres, within which a 1.4 metre opaque screen must be provided;

- (e) all uses located at the ground floor, must not exceed a width of 20 metres for a minimum depth of 3 metres from the building façade that faces the street;
- (f) in addition to the provisions of subsection 197(3)(g)(i), a building must also be at least 2 storeys in height; and
- (g) in the case of lots fronting on Elgin Street:
 - (i) the maximum front yard setback is 1 metre;
 - (ii) restaurants may only be located on the ground floor, and
 - (iii) the maximum permitted height is 15 metres and 4 storeys.

TM2 Subzone

- (2) In the TM2 Subzone:
 - (a) the uses listed in subsection 197(2) are not permitted and only the following residential uses are permitted subject to:
 - (i) being in a building containing one or more of the permitted non-residential uses;
 - dwelling unit**
 - rooming house** (By-law 2018-206)
 - (b) each retail food store and retail store is limited to 600 square metres of gross leasable area; and
 - (c) in addition to the provisions of subsection 197(3)(g)(i), a building must also be at least 2 storeys in height

TM3 Subzone

- (3) In the TM3 Subzone:
 - (a) the uses listed in subsection 197(2) are not permitted and only the following residential uses are permitted subject to:
 - (i) being in a building containing one or more of the permitted non-residential uses;
 - dwelling unit**
 - rooming unit**
 - (b) the following uses are also permitted:
 - broadcasting studio
 - cinema
 - funeral home
 - hotel
 - museum
 - place of assembly
 - recording studio
 - theatre (By-law 2013-318) (By-law 2017-302)

TM4 Subzone

- (4) Reserved for Future Use (By-law 2013-318)

TM5 Subzone

- (5) In the TM5 Subzone:
- (a) the following uses are also permitted subject to:
- (i) the ground floor being occupied by a use permitted in subsection 197(1);

hotel
parking garage

TM6 Subzone- Rideau Street Subzone

- (6) In the TM6 Subzone:
- (a) the uses listed in subsection 197(2) are not permitted and only the following residential uses are permitted subject to:
- (i) being in a building containing one or more of the permitted non-residential uses;
- dwelling unit**
rooming house (By-law 2018-206)
- (b) **utility installation** is not permitted on the ground floor;
- (c) the following are the only permitted uses in the first 6 metres of the building depth at the ground floor that abuts Beausoleil Drive, Besserer Street and Tormey Street:
- apartment **dwelling**, low rise
apartment **dwelling**, mid rise (By-law 2014-292)
artist studio
bed and breakfast, see *Part 5, Section 121*
dwelling unit
retirement home
stacked dwelling, see *Part 5, Section 138* (By-law 2010-307)
- (d) where the gross floor area of a building, or group of buildings designed as one development, exceeds 2,000 square metres, 50% of the gross floor area over 2,000 square metres must be used for the following uses:
- dwelling unit**
group home
low-rise apartment dwelling (By-law 2014-189)
retirement home
retirement home, converted, see *Part 5, Section 122*
rooming house
stacked dwelling, see *Part 5, Section 138* (By-law 2010-307)
(By-law 2009-184) (By-law 2018-206)

- (e) the provisions of subsections 197(3)(c) to (g) do not apply and the provisions of Table 197A below apply:

TABLE 197A – PROVISIONS FOR THE TM6 SUBZONE

I ZONING MECHANISM	II PROVISIONS
	In addition to the front yard setback requirements of subsections 197(4)(a), (b), (c) and (e), the following also applies: (By-law 2009-392)
(i) Minimum front yard setback	1. 3 m 2. for buildings on lots abutting Rideau Street: (i) and located between Augusta Street and Cummings Bridge: 1 m (ii) and located between King Edward Avenue and Augusta Street: 0 m 3. for that part of a building above the 6 th storey the minimum is the setback provided at ground level plus 2 metres
	In addition to the front yard setback requirements of subsections 197(4)(a), (b), (c) and (e), the following also applies: (By-law 2009-392)
(ii) Maximum front yard setback	1. for buildings on lots abutting Rideau Street: (i) between Augusta Street and Cummings Bridge: 2 m (ii) between King Edward Avenue and Augusta Street: 1 m 2. see Section 197(4)(c) for an outdoor commercial patio 3. no maximum for any part of a building over the 3 rd storey
(iii) Minimum side yard setback	1. abutting an R1, R2, R3 or R4 zone or subzone: 7.5 m 2. abutting an R5 zone or subzone: 3 m 3. for buildings on lots abutting Rideau Street: (i) corner side yard: 1 m (ii) corner side yard for 292 Rideau Street: 3 m 4. other cases - no minimum
(iv) Maximum side yard setback	1. for buildings on lots abutting Rideau Street: (i) corner side yard: 4 m (ii) corner side yard for 292 Rideau Street: 6 m 2. other cases - no maximum

I ZONING MECHANISM	II PROVISIONS																												
(v) Minimum rear yard setback	1. abutting a rear yard in a residential zone except R5P to R5T: <table border="1" data-bbox="602 327 1421 617"> <tr> <td data-bbox="602 327 678 386">(i)</td> <td data-bbox="683 327 1421 386">7.5 m</td> </tr> <tr> <td data-bbox="602 392 678 501">(ii)</td> <td data-bbox="683 392 1421 501">for that part of the building above the 3rd storey where the maximum permitted building height is 16 metres or less: 10.5 m</td> </tr> <tr> <td data-bbox="602 508 678 617">(iii)</td> <td data-bbox="683 508 1421 617">for that part of the building above the 4th storey where the maximum permitted building height is greater than 16 metres: 10.5 m</td> </tr> </table> 2. other cases: 3 m	(i)	7.5 m	(ii)	for that part of the building above the 3 rd storey where the maximum permitted building height is 16 metres or less: 10.5 m	(iii)	for that part of the building above the 4 th storey where the maximum permitted building height is greater than 16 metres: 10.5 m																						
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(iii)	for that part of the building above the 4 th storey where the maximum permitted building height is greater than 16 metres: 10.5 m																												
(vi) Minimum building height	10 m, except for the following properties where a minimum of 5 metres applies: <table border="1" data-bbox="602 758 1421 1589"> <tr> <td data-bbox="602 758 678 816">(i)</td> <td data-bbox="683 758 1421 816">323 Rideau Street, Lot 11 Rideau North, Plan 43586</td> </tr> <tr> <td data-bbox="602 823 678 882">(ii)</td> <td data-bbox="683 823 1421 882">362 Rideau Street, East Part Lot 20 Rideau South, Plan 6</td> </tr> <tr> <td data-bbox="602 888 678 947">(iii)</td> <td data-bbox="683 888 1421 947">364 Rideau Street, West Part Lot 21 Rideau South, Plan 6</td> </tr> <tr> <td data-bbox="602 953 678 1012">(iv)</td> <td data-bbox="683 953 1421 1012">366 Rideau Street, East Part Lot 21 Rideau South, Plan 6</td> </tr> <tr> <td data-bbox="602 1018 678 1077">(v)</td> <td data-bbox="683 1018 1421 1077">377 Rideau Street, Part 5, Plan 4R-15768</td> </tr> <tr> <td data-bbox="602 1083 678 1142">(vi)</td> <td data-bbox="683 1083 1421 1142">390 Rideau Street East Part Lot 24 Rideau South, Plan 6</td> </tr> <tr> <td data-bbox="602 1148 678 1207">(vii)</td> <td data-bbox="683 1148 1421 1207">418 Rideau Street, Lot 28 Rideau South, Plan 6</td> </tr> <tr> <td data-bbox="602 1213 678 1302">(viii)</td> <td data-bbox="683 1213 1421 1302">487 Rideau Street, South Part Lot 31 Rideau South, Plan 43586</td> </tr> <tr> <td data-bbox="602 1308 678 1367">(ix)</td> <td data-bbox="683 1308 1421 1367">506 Rideau Street, Parts 1 & 2, Plan 5R-8257</td> </tr> <tr> <td data-bbox="602 1373 678 1432">(x)</td> <td data-bbox="683 1373 1421 1432">508 Rideau Street, Parts 3, 4, and 5, Plan R5-8257</td> </tr> <tr> <td data-bbox="602 1438 678 1497">(xi)</td> <td data-bbox="683 1438 1421 1497">510 Rideau Street, West Part Lot 40 Rideau South, Plan 6</td> </tr> <tr> <td data-bbox="602 1503 678 1562">(xii)</td> <td data-bbox="683 1503 1421 1562">511 Rideau Street, Carleton Condominium Plan 609</td> </tr> <tr> <td data-bbox="602 1568 678 1656">(xiii)</td> <td data-bbox="683 1568 1421 1656">541 Rideau Street, Part 1, Plan R5-5528 and Part 4, Plan R5-5754</td> </tr> <tr> <td data-bbox="602 1663 678 1722">(xiv)</td> <td data-bbox="683 1663 1421 1722">589 Rideau Street, Carleton Condominium Plan 586</td> </tr> </table>	(i)	323 Rideau Street, Lot 11 Rideau North, Plan 43586	(ii)	362 Rideau Street, East Part Lot 20 Rideau South, Plan 6	(iii)	364 Rideau Street, West Part Lot 21 Rideau South, Plan 6	(iv)	366 Rideau Street, East Part Lot 21 Rideau South, Plan 6	(v)	377 Rideau Street, Part 5, Plan 4R-15768	(vi)	390 Rideau Street East Part Lot 24 Rideau South, Plan 6	(vii)	418 Rideau Street, Lot 28 Rideau South, Plan 6	(viii)	487 Rideau Street, South Part Lot 31 Rideau South, Plan 43586	(ix)	506 Rideau Street, Parts 1 & 2, Plan 5R-8257	(x)	508 Rideau Street, Parts 3, 4, and 5, Plan R5-8257	(xi)	510 Rideau Street, West Part Lot 40 Rideau South, Plan 6	(xii)	511 Rideau Street, Carleton Condominium Plan 609	(xiii)	541 Rideau Street, Part 1, Plan R5-5528 and Part 4, Plan R5-5754	(xiv)	589 Rideau Street, Carleton Condominium Plan 586
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- (f) the floor to ceiling measurement of the ground floor must exceed the floor to ceiling measurement of any floor above the ground floor, except the top floor, by a minimum of 1 metre; and
- (g) a parking lot and parking spaces must be located at least 4.5 metres from a property line abutting Beausoleil Drive, Besserer Street or Tormey Street.

TM7 Subzone

- (7) In the TM7 Subzone:
- (a) the uses listed in subsection 197(2) are not permitted and only the following residential uses are permitted subject to:
 - (i) being in a building containing one or more of the permitted non-residential uses;
dwelling unit
rooming house (By-law 2018-206)

TM8 Subzone - Beechwood Avenue Subzone

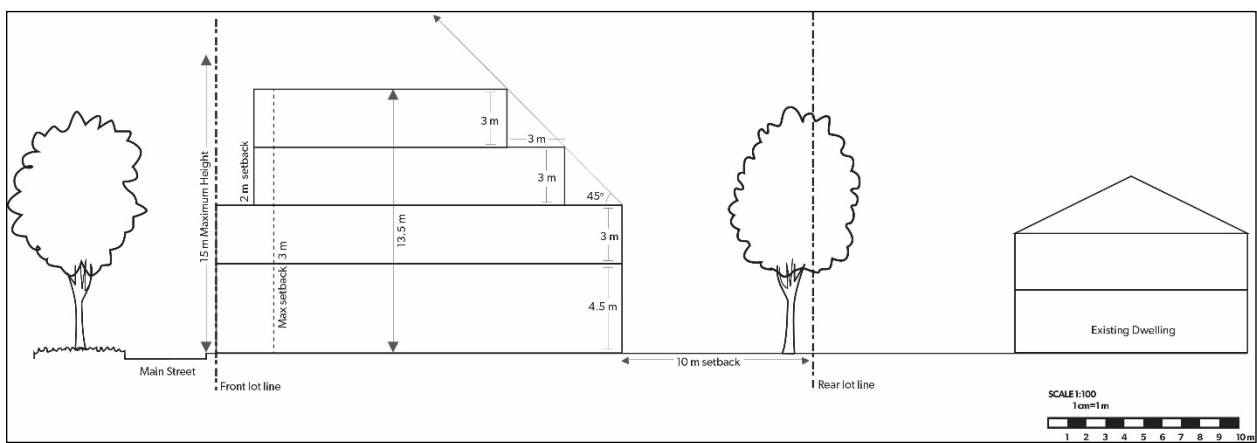
- (8) In the TM8 Subzone:
- (a) The following use is also permitted provided it is not located on the ground floor of a building:
 - (i) **parking garage**
 - (b) The required front, corner side and rear yard setbacks for lots abutting Beechwood Avenue are as follows:
 - (i) front yard setback: a minimum of 0 metres for the first three storeys and above the third storey, a minimum of 2 metres more than the setback of the first three storeys; despite Section 197(3)(c), no maximum above the third storey;
 - (ii) corner side yard setback: for the first three storeys, a minimum of 1 metre and a maximum of 3 metres; above the third storey, a minimum of 2 metres more than the setback of the first three storeys;
 - (iii) minimum rear yard setback:
 1. where abutting a residential zone,
-5 metres for the first three storeys, except in the case of corner or through lots 20 metres or greater in width, where setback is 3 metres for up to half the lot width measured from the corner side lot line and 7.5 metres for the remaining portion of the lot width
-7.5 metres above the third storey,
 2. where abutting a street, 3 metres for the first three storeys; above the third storey, a minimum of 2 metres more than the setback of the first three storeys, and
 3. in all other cases, no minimum.
 - (c) The required front, interior side and rear yard setbacks for lots not abutting Beechwood Avenue are as follows:
 - (i) front yard setback- minimum of 3 metres, no maximum;
 - (ii) minimum interior side yard setback - 3 metres abutting a residential zone, and no minimum in other cases; and

- (iii) minimum rear yard setback: same as subsection (b)(iii) above.
- (d) Despite Section 197(5), residential uses are permitted to a maximum of 50% of the ground floor area of a building that faces Barette Street and the uses must face Barette Street. If the ground floor of a building that faces Barette Street is used for a non-residential use, then no vehicular entrances are permitted on the ground floor and a maximum of 10% of the area of the façade can be windows.
- (e) Despite Subsection (b) above, Section 197(4) applies to the maximum front yard and corner side yard setbacks in the TM8 Subzone.

TM9 Subzone- Stittsville Main Street Subzone

- (9) In the TM9 Subzone,
 - (a) the following uses are also permitted:
 - bar
 - funeral home
 - parking lot
 - stacked dwelling
 - townhouse dwelling
 - planned unit development (By-law 2017-302)
 - (b) Section 197(1)(b) does not apply:
 - (c)
 - (i) A minimum of 50 per cent of the lot width within a distance of the front lot line equal to the required maximum front yard setback, must be occupied by building walls if the lot is less than 90 metres wide;
 - (ii) A minimum of 30 per cent of the lot width within a distance of the front lot line equal to the required maximum front yard setback, must be occupied by building walls if the lot is 90 metres in width or wider.
 - (d) At least 80 per cent of the windows and doors facing Stittsville Main Street must consist of transparent glazing.
 - (e) Sections 197(3)(c),(d)(i),(ii)(1),(e) and (f) do not apply and the following yard setbacks apply: (By-law 2016-288)
 - (i) maximum front yard setback: 3 metres
 - (ii) maximum corner side yard setback: 3 metres
 - (iii) minimum interior side yard setback for a non-residential use building or a mixed-use building abutting a residential, open space or environmental protection zone: 7.5 metres
 - (iv) minimum rear yard setback:
 - (a) where the rear lot line abuts a TM9 Zone: 3 metres
 - (b) all other cases: 10 metres
 - (f) The maximum front yard and corner side yard setbacks in Section 198(9)(e)(i)(ii) does not apply in the following instances:

- (i) an area used for the balcony of a residential dwelling unit located on or above the second floor;
 - (ii) when a building is located further from the lot line to provide a required corner lot triangle;
 - (iii) when an outdoor commercial patio accessory to a restaurant use is located in a front or corner side yard, the maximum setback for that same yard is 6 metres;
 - (iv) any part of a building above 7.5 metres, for which a minimum front and corner side yard setback of 2 metres must be provided;
 - (v) if there are high voltage power lines present near the front or corner side lot line then the maximum setback requirement is 5 metres;
 - (vi) the maximum setback requirement may be increased to 4.5 metres where a porch is provided;
 - (vii) where the requirements of 198(9)(c)(i) or (ii) have been met and where on a corner lot at least one building meets the required corner side yard setback.
- (g) Section 197(3)(g)(ii) does not apply and in addition to the maximum permitted height limit:
- (i) no building may be more than 4 storeys in height;
 - (ii) any part of a building subject to the minimum building height set out in Table 197(g)(i) and located within 10 metres of the corner side lot line abutting the following streets (Carp Road, Hobin Street, Wintergreen Drive, Abbott Street, Orville Street, Elm Crescent and Carleton Cathcart Street) must also be a minimum of 2 storeys.
 - (iii) no part of a building on a lot with a rear lot line abutting an R1, R2, R3 or R4 Zone may project above a 45 degree angular plane measured at a height of 7.5 metres from a point 10 metres from the rear lot line, projecting upwards towards the front lot line (see illustration below). (By-law 2015-264)



TM10 Subzone (OMB order dated September 25, 2008- File # PL070727)

- (10) Despite anything to the contrary in this by-law, for the lands zoned TM10 Subzone the following provisions shall apply:
- (a) A maximum of one high-rise apartment, including ground floor commercial uses is permitted on the property subject to the following regulations:
 - (i) Notwithstanding the building height provisions of Table 197(g), the high-rise apartment must not exceed a height of 38.0 metres (12 storeys).
 - (ii) The setbacks established in Table 197 and subsection 197(4) do not apply and the following yard setbacks shall apply:
 - (b)
 - (i) Despite the list of permitted residential uses, where the zoning on a lot is accompanied by an H suffix, schedule or exception that restricts building height to less than 30m or to fewer than ten storeys on the entire lot, the use Apartment Dwelling, High Rise is a prohibited use on that lot. (By-law 2015-192)
 - (ii) Despite the list of permitted residential uses, where the zoning on a lot is accompanied by an H suffix, schedule or exception that restricts building height to less than 15m or to fewer than five storeys on the entire lot, the use Apartment Dwelling, Mid Rise is a prohibited use on that lot. (By-law 2014-292)

I ZONING MECHANISM	II REGULATIONS	
(i) Front yard setback	Minimum	No Minimum
	Maximum	3.0 m
	An added 2.0 metre setback from the provided front yard setback at grade shall occur above the 5 th storey or 18 metres whichever is the lessor for the middle 1/3 of the length of the front building façade, otherwise the added 2.0m setback from the provided front yard setback at grade shall apply above the 4 th storey or 15.0m.	
(ii) Corner side yard setback	Minimum	No Minimum
	Maximum	3.0 m
(iii) Interior Side Yard setback	Minimum	9.0 m

I ZONING MECHANISM	II REGULATIONS	
	<p>An added 2.0 m setback from the provided interior side yard setback at grade shall apply above the 4th storey or 15.0m, whichever is the lessor;</p> <p>An added 22.3m setback shall apply above the 8th storey or above 27.0m whichever is the lessor, although an enclosed exit corridor, not to exceed 2.5m in height, and 3m in width, shall be permitted to exceed the 8 storey/27.0 m height limit within this setback.</p>	
(iv) Rear Yard Setback	Minimum	No minimum

TM11 Subzone- Wellington Street Subzone

- (11) In the TM11 Subzone,
- (a) maximum front yard setback: 3.0m,
 - (b) despite 197(3)(g) – building height:
 - (i) the maximum building height is 20 metres,
 - (ii) for a building that is over 4 storeys in height that part of the building above the 3rd storey or above 12.0 metres has a minimum front yard setback of 2 metres,
 - (c) parking spaces required or provided in the TM11 Subzone may be available for parking purposes to any land use located within the TM11 subzone and MC16 Subzone.(OMB Order File #PL110686, issued October 24, 2012),(By-law 2011-216)

TM12 – Subzone

- (12) In the TM12 subzone,
- (a) the following uses are also permitted:
 - detached dwelling**
 - duplex dwelling**
 - semi-detached dwelling**
 - stacked dwelling (By-law 2015-43)**
 - three-unit dwelling**
 - townhouse dwelling**
 - (b) for the purposes of Table 197 (d), (f) and (g), a lot in the TM12 subzone that abuts a lot containing one of the uses listed in subsection 198(12)(a) will be considered to abut a residential zone, and subclause 197(g)(ii)(3) applies. (By-law 2014-24)

TM13 Subzone

- (13) In the TM13 subzone,
- (a) the following uses are also permitted:

detached dwelling
duplex dwelling
additional dwelling unit
semi-detached dwelling
three-unit dwelling
townhouse dwelling

- (b) for the purposes of Table 197 (d), (f) and (g), a lot in the TM13 subzone that abuts a lot containing one of the uses listed in subsection 198(13)(a) will be considered to abut a residential zone, and subclause 197(g)(ii)(3) applies. (By-law 2014-20) (OMB Order File #PL140303, issued March 20, 2015) (By-law 2014-64)

TM14 – Subzone

- (14) In the TM14 subzone,
- (a) Any use listed in subsection 197(1)(e), other than office, is limited to a maximum gross floor area of 225 square metres;
- (b) The following additional uses are also permitted:
- detached dwelling**
duplex dwelling
semi-detached dwelling
stacked dwelling
three-unit dwelling
townhouse dwelling
- (c) Despite clause 197(1)(b), permitted residential uses and office are allowed to occupy any part of the ground floor; and,
- (d) Despite clause 197(g)(ii), the maximum building height is 14.5 metres, except where otherwise provided for by an H suffix, exception or schedule. (By-law 2015-44)

TM15 – subzone

- (15) In the TM15 subzone,
- (a) No residential uses are permitted except:
dwelling unit
- (b) The following uses are prohibited:
payday loan establishment
- (c) The following additional uses are permitted:
bar (By-law 2021-92)
- (d) Despite section 19, where a height suffix applies, the application of any additional setbacks or transitions still apply. (By-law 2022-103)

TM16 Subzone – Bank Street in the Glebe Subzone

- (16) In the TM16 Subzone,

- (a) The minimum rear yard setback is as follows:
 - (i) Where the rear yard abuts a residential zone, the minimum rear yard setback is:
 - 1. For the portion of the lot aligning with a required rear yard of the abutting lot: 7.5m.
 - 2. All other cases: 3m.
 - (ii) Where the rear yard abuts a lane that abuts a residential zone, the minimum rear yard setback is per a) above, minus the width of the laneway but in no case be less than 0m.
 - (iii) For all other cases, the rear yard setbacks are as in Table 197.
- (b) Where the building height is greater than four storeys or 15 m, at and above the fourth storey or 15 m whichever is the lesser a building must be setback a minimum of 3 m more than the provided setback from the front lot line as set out under subsection 197(5) and from the side lot line abutting a street. (By-law 2021-405)